



PEARL INSPECTION SERVICES

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## HOME INSPECTION REPORT

1234 Main Street  
Damascus, OR 97089

Buyer Name  
12/26/2023 9:00AM



Inspector

**Jeffrey Hull**

A handwritten signature in black ink, appearing to read "Jeffrey Hull".

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Agent

**Agent Name**

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Thank you for choosing Pearl Inspection Services for your home inspection. We love inspecting homes and serving our customers well. We believe that we included relevant and useful information in your report to help you make informed decisions. If you have any questions after reviewing your report, please reach out and we'll be happy to answer them.

# SUMMARY



ITEMS INSPECTED



MINOR DEFECT /  
MAINTENANCE



MAJOR DEFECT



MATERIAL (CRITICAL)  
DEFECT

Summary Text (enter here)

-  2.1.1 Roof - Roof Covering: Cracked Roof-Covering Material
-  2.1.2 Roof - Roof Covering: Exposed Fasteners
-  2.1.3 Roof - Roof Covering: Installation Defect at Roof Covering
-  2.1.4 Roof - Roof Covering: Cracked and Damaged Roof Covering
-  2.1.5 Roof - Roof Covering: Roof Vents defective
-  2.1.6 Roof - Roof Covering: Unsealed boot
-  2.1.7 Roof - Roof Covering: Moss growth on roof
-  2.2.1 Roof - Masonry Chimney: Chimney Flashing Defect
-  2.2.2 Roof - Masonry Chimney: Chimney Rain Cap Missing
-  2.2.3 Roof - Masonry Chimney: Crowned Cap Was Damaged
-  2.2.4 Roof - Masonry Chimney: Repaired Chimney Cracks
-  2.2.5 Roof - Masonry Chimney: Creosote
-  2.4.1 Roof - Flue Gas Vent Pipes: Vent Pipe Defect
-  2.5.1 Roof - Roof Drainage Systems: Debris
-  2.5.2 Roof - Roof Drainage Systems: Downspouts Drain Near House
-  3.1.1 Exterior - General: Remove bird nest
-  3.1.2 Exterior - General: pet doors can be security issues
-  3.2.1 Exterior - Eaves, Soffits & Fascia: Damage Observed at Fascia
-  3.2.2 Exterior - Eaves, Soffits & Fascia: Damage Observed at Soffit
-  3.3.1 Exterior - Wall-Covering, Flashing & Trim: Damaged Wall-Covering Material
-  3.3.2 Exterior - Wall-Covering, Flashing & Trim: Cracking - Minor
-  3.3.3 Exterior - Wall-Covering, Flashing & Trim: Inadequate Ground Clearance

- 🔧 3.5.1 Exterior - GFCIs & Electrical: Missing GFCI
- ⊖ 3.5.2 Exterior - GFCIs & Electrical: Electrical Defect
- ⚠️ 3.5.3 Exterior - GFCIs & Electrical: Major Defect
- ⊖ 3.8.1 Exterior - Porches, Patios, Decks, Balconies & Carports: Deck - Wood Rot
- 🔧 3.8.2 Exterior - Porches, Patios, Decks, Balconies & Carports: Joist Hanger Defect
- ⊖ 3.9.1 Exterior - Railings, Guards & Handrails: Missing Guardrail
- ⊖ 3.10.1 Exterior - Windows: Cracked Windowpane
- ⊖ 3.11.1 Exterior - Exterior Doors: Damaged Door
- 🔧 3.11.2 Exterior - Exterior Doors: Slider Door Defect
- 🔧 4.1.1 Attached Garage - Garage Floor: Cracked Concrete at Garage Floor
- ⊖ 4.3.1 Attached Garage - Garage Vehicle Door Opener: Safety reverse non-functional
- ⊖ 4.4.1 Attached Garage - Electric in Garage: Missing GFCI-Protection in Garage
- ⊖ 4.4.2 Attached Garage - Electric in Garage: Power Not Present at Receptacle
- 🔧 4.4.3 Attached Garage - Electric in Garage: Loose Electrical Lines in Garage
- ⊖ 4.4.4 Attached Garage - Electric in Garage: Missing covers
- ⊖ 4.5.1 Attached Garage - Ceiling, Walls & Firewalls in Garage: Door Was Not a Fire-Rated Door
- ⊖ 4.5.2 Attached Garage - Ceiling, Walls & Firewalls in Garage: Attic Access Panel in Garage Ceiling Defect
- ⊖ 4.5.3 Attached Garage - Ceiling, Walls & Firewalls in Garage: Firewall Not Up To Code
- 🔧 4.7.1 Attached Garage - Garage sink: Replace Sink Leg
- ⊖ 5.1.1 Attic, Insulation & Ventilation - Structural Components & Observations in Attic: Open electrical
- 🔧 5.2.1 Attic, Insulation & Ventilation - Insulation in Attic: Insulation Compressed by Steps
- 🔧 5.2.2 Attic, Insulation & Ventilation - Insulation in Attic: Additional Insulation Recommended
- 🔧 5.2.3 Attic, Insulation & Ventilation - Insulation in Attic: Improper Installation
- ⊖ 8.4.1 Plumbing - Hot Water Source: Defect at TPR Valve Discharge
- ⊖ 8.4.2 Plumbing - Hot Water Source: Defect at Vent Connection Pipe
- 🔧 8.6.1 Plumbing - Water Supply & Distribution Systems: Deficiency in the Hot & Cold Water Supply
- 🔧 8.6.2 Plumbing - Water Supply & Distribution Systems: Toilet Loose Connection to Floor
- 🔧 8.6.3 Plumbing - Water Supply & Distribution Systems: Defect at Two Fixtures Operated Simultaneously
- ⊖ 8.6.4 Plumbing - Water Supply & Distribution Systems: Outdoor spigot doesn't have water.
- ⊖ 9.13.1 Electrical - Electrical Defects: Closet Light Defect
- ⊖ 9.13.2 Electrical - Electrical Defects: Open Grounds
- ⊖ 10.2.1 Bathrooms - Sinks, Tubs & Showers: Inadequate Water Flow at Fixture
- ⊖ 10.4.1 Bathrooms - GFCI & Electric in Bathroom: Receptacle Is Not GFCI Protected
- ⊖ 10.4.2 Bathrooms - GFCI & Electric in Bathroom: Open ground
- ⊖ 11.3.1 Doors, Windows & Interior - Switches, Fixtures & Receptacles: Loose Receptacle
- ⊖ 11.3.2 Doors, Windows & Interior - Switches, Fixtures & Receptacles: Missing Ground at Receptacle
- 🔧 11.4.1 Doors, Windows & Interior - Floors, Walls, Ceilings: Damaged (General)
- 🔧 11.6.1 Doors, Windows & Interior - Railings, Guards & Handrails: Loose Railing Component
- ⚠️ 11.7.1 Doors, Windows & Interior - Presence of Smoke and CO Detectors: Missing Smoke Detector
- ⊖ 12.3.1 Laundry - Laundry Room, Electric, and Tub: Missing GFCI Protection
- 🔧 12.3.2 Laundry - Laundry Room, Electric, and Tub: Hot/cold reversed

- 🚫 14.3.1 Kitchen - GFCI: Missing GFCI Protection
- 🔧 14.3.2 Kitchen - GFCI: Loose outlet
- 🔧 14.9.1 Kitchen - Built-in Microwave: Drawer must be extended to use microwave
- 🔧 14.10.1 Kitchen - Countertops & Cabinets: Countertop needs caulking
- 🔧 15.1.1 Kitchen 2 - Kitchen Sink: Low hot water flow
- 🚫 15.3.1 Kitchen 2 - GFCI: Missing GFCI Protection
- 🔧 15.6.1 Kitchen 2 - Range/Oven/Cooktop: Oven Not Heating Up
- 🔧 15.6.2 Kitchen 2 - Range/Oven/Cooktop: Cooktop obstructed - did not test

## 1: INSPECTION DETAIL

### Information

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**General Inspection Info: Window Manufacturer**

Unknown

**General Inspection Info: Occupancy**

Furnished, Occupied

**General Inspection Info: Weather Conditions**

Sunny, Cold

**General Inspection Info: Type of Building**

Single Family

**General Inspection Info: In Attendance**

Client's Agent, Client, Family of My Client

I prefer to have my client with me during my inspection so that we can discuss concerns, and I can answer all questions.

## 2: ROOF

### Information

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**Masonry Chimney: Masonry Chimney Exterior Was Inspected**

The chimney exterior was inspected during my home inspection.

**Roof Drainage Systems: Gutter Material**

Steel

**Roof Drainage Systems: Gutters have screens, which obstructs access.**

**Roof Covering: Homeowner's Responsibility**

Homeowner tip: Roofs are designed to be water-resistant. Roofs are not designed to be waterproof. Eventually, the roof system will leak. No one can predict when, where or how a roof will leak.

Every roof should be inspected every year as part of a homeowner's routine home maintenance plan. Catch problems before they become major defects.

## Roof Covering: Type of Roof-Covering Described

Asphalt

I observed the roof-covering material and attempted to identify its type.

This inspection is not a guarantee that a roof leak in the future will not happen. Roofs leak. Even a roof that appears to be in good, functional condition will leak under certain circumstances. We will not take responsibility for a roof leak that happens in the future. This is not a warranty or guarantee of the roof system.

## Roof Covering: Roof Was Inspected

Roof, Ground, Ladder

We attempted to inspect the roof from various locations and methods. Since it is virtually impossible for us to detect a leak except as it is occurring, we recommend that you ask the sellers to disclose information about the roof, and that you include comprehensive roof coverage in your home insurance policy.

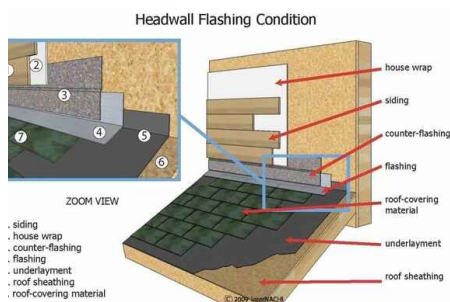
## Masonry Chimney: Masonry Chimney Flashing Was Inspected

I inspected for flashing installed at the chimney.

Flashing is installed in areas where the chimney stack meets another system or component of the house. And the flashing is supposed to divert water away from those areas to prevent water intrusion.

## Flashing: Wall Intersections

I looked for flashing where the roof covering meets a wall or siding material. There should be step and counter flashing installed in these locations.



Flashing Details

## Flashing: Eaves and Gables

There are gutter debris guards in place, which made it difficult to see drip edge flashing without damaging the roofing material.

I looked for flashing installed at the eaves (near the gutter edge) and at the gables (the diagonal edge of the roof).

There should be metal drip flashing material installed in these locations. The flashing helps the surface water on the roof to discharge into the gutter. Flashing also helps to prevent water intrusion under the roof-covering.

## Flue Gas Vent Pipes: Homeowner's Responsibility

Monitor the flashing around the flue gas vent pipes that pass through the roof surface. Sometimes they deteriorate and cause a roof to leak.

## Flue Gas Vent Pipes: Flue Gas Vent Pipe Inspected

I looked at flue gas vent pipes that pass through the roof covering.

All gas-fired appliances must be connected to venting systems. There should be watertight metal flashing installed around the flue gas vent pipes. The vent pipes should extend far enough above the roof surface.

## Limitations

Roof Covering

**UNABLE TO SEE EVERYTHING**



This is a visual-only inspection of the roof-covering materials. It does not include an inspection of the entire system. There are components of the roof that are not visible or accessible at all, including the underlayment, decking, fastening, flashing, age, shingle quality, manufacturer installation recommendations, etc.

Masonry Chimney

### **CHIMNEY INTERIOR IS BEYOND THE SCOPE**

Inspecting the chimney interior and flue is beyond the scope of a home inspection. Out of courtesy only, the inspector may take a look at readily accessible and visible parts of the chimney flue.

Flashing

### **DIFFICULT TO SEE EVERY FLASHING**

I attempted to inspect the flashing related to the vent pipes, wall intersections, eaves and gables, and the roof-covering materials. In general, there should be flashing installed in areas where the roof covering meets something else, like a wall. Some of the flashing is completely concealed by other critical materials, which is a limitation to this inspection.

Flue Gas Vent Pipes

### **UNABLE TO REACH ALL THE FLUE GAS VENT PIPES**

I was unable to closely reach and observe all of the flue gas vent pipes that pass through the roof-covering materials. This was an inspection restriction.

## **Recommendations**

2.1.1 Roof Covering

### **CRACKED ROOF-COVERING MATERIAL**

I observed cracked and damaged shingles. Prone to leaking. Correction and further evaluation by a professional roofer is recommended.

Recommendation

Contact a qualified roofing professional.



Minor Defect / Maintenance



Cracked ridge shingles - multiple places



2.1.2 Roof Covering

 Minor Defect / Maintenance

**EXPOSED FASTENERS**

I observed exposed fasteners at the roof-covering materials. Fasteners should not be exposed. Potential water entry points. Roof could leak. Further evaluation and correction is recommended. Fasteners have gaskets, but should also be sealed with an approved sealer.

Recommendation

Contact a qualified roofing professional.



2.1.3 Roof Covering

 Major Defect

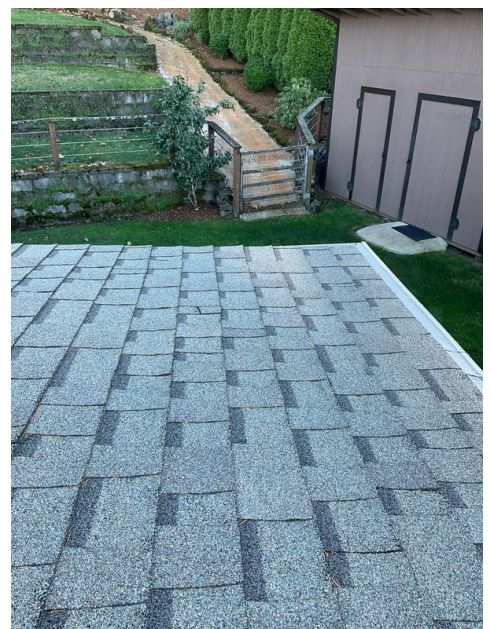
**INSTALLATION DEFECT AT ROOF COVERING**

I observed indications of improperly installed roof-covering materials. This is not according to best practices or common standards. Defect. Prone to water intrusion and roof leaks. Further evaluation and correction by a roofer is recommended.

- SW roof corner is too flat for asphalt shingles. Pitch measured at 0.5/12 at flattest portion.

Recommendation

Contact a qualified roofing professional.



2.1.4 Roof Covering

 Major Defect

**CRACKED AND DAMAGED ROOF COVERING**

I observed areas of cracked/splitting and damaged roof-covering materials. This is a major defect. Prone to water leaking into the house. I recommend a qualified roofing contractor further evaluate and make repairs to the roof system as they deem appropriate.



Recommendation

Contact a qualified roofing professional.



2.1.5 Roof Covering

**ROOF VENTS DEFECTIVE**

 Major Defect

See video. Vent flashing membrane is damaged, and likely not installed by a roofing professional. One vent was visibly displaced.

Recommendation

Contact a qualified roofing professional.

2.1.6 Roof Covering

**UNSEALED BOOT**

 Minor Defect / Maintenance

The electrical service mast boot was not sealed to the mast. This should be sealed to prevent leaks.

Recommendation

Contact a qualified roofing professional.



## 2.1.7 Roof Covering

**MOSS GROWTH ON ROOF**

Minor Defect / Maintenance

I observed moss growth on the roof mostly above the garage. This should be treated to prevent roof damage.

Recommendation

Contact a handyman or DIY project

## 2.2.1 Masonry Chimney

**CHIMNEY FLASHING DEFECT**

Minor Defect / Maintenance

I observed a defect in the chimney flashing. Chimney flashing is prone to leaking water when the flashing/installation is defective.

- I observed step flashing and counter flashing at the chimney, which is good. I recommend, at a minimum, painting the rusty counter flashing to preserve its remaining functional life.

Recommendation

Contact a qualified chimney contractor.



## 2.2.2 Masonry Chimney

**CHIMNEY RAIN CAP MISSING**

Major Defect

I observed a missing chimney rain cap.

The rain cap covers the top opening of the chimney flue liner.

Recommendation

Contact a qualified chimney contractor.





2.2.3 Masonry Chimney

 Major Defect

**CROWNED CAP WAS DAMAGED**

Chimney crown/cap is non-existent. Ask the homeowner about defects and leaks related to the chimney. The sealant and crown flashing was not done by a pro. Ask about why the fourth flue exists and is stuffed with bricks.

If a wash, or crown, on top of the chimney is not properly sloped or is extensively cracked, defective, spalled, or displays rust stains, it should be replaced. Sheet metal caps/crowns with minor rust or corrosion should be repaired, but if rust or corrosion is extensive, replacement is recommended.

Recommendation

Contact a qualified chimney contractor.



2.2.4 Masonry Chimney

 Minor Defect / Maintenance

**REPAIRED CHIMNEY CRACKS**

I observed repaired chimney masonry cracks. Homeowner may be able to shed more light.

Recommendation

Contact a qualified professional.



2.2.5 Masonry Chimney

**CREOSOTE**

I observed minor creosote buildup on the rain caps. I recommend regular chimney cleaning and service for safe operation and chimney longevity.

Recommendation

Contact a qualified professional.

 Minor Defect / Maintenance

2.4.1 Flue Gas Vent Pipes

**VENT PIPE DEFECT**

The top section of the water heater vent pipe was loose/wobbly. It appeared to be sealed to the roof boot.

Recommendation

Contact a qualified HVAC professional.

 Minor Defect / Maintenance

2.5.1 Roof Drainage Systems

**DEBRIS**

Debris has accumulated in the valleys. Recommend cleaning to facilitate water flow.

[Here is a DIY resource](#) for cleaning your gutters.

Recommendation

Contact a handyman or DIY project

 Minor Defect / Maintenance





### 2.5.2 Roof Drainage Systems

#### **DOWNSPOUTS DRAIN NEAR HOUSE**

All water should be diverted away from house foundation.

Recommendation

Contact a qualified roofing professional.



Minor Defect / Maintenance

## 3: EXTERIOR

### Information

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#### **Exterior Doors: Exterior Doors**

##### **Inspected**

I inspected the exterior doors.

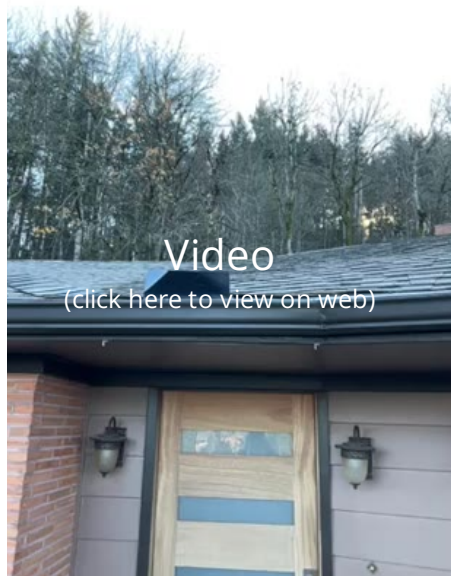
#### **General: Homeowner's Responsibility**

Homeowner tip: Monitor the building's exterior for its condition and weather-tightness. Check the condition of all exterior materials and look for developing patterns of damage or deterioration.

During a heavy rainstorm (without lightning), grab an umbrella and go outside. Walk around your house and look around at the roof and property. A rainstorm is the perfect time to see how the roof, downspouts and grading are performing. Observe the drainage patterns of your entire property, as well as the property of your neighbor. The ground around your house should slope away from all sides. Downspouts, surface gutters and drains should be directing water away from the foundation.

## Eaves, Soffits & Fascia: Eaves, Soffits and Fascia Were Inspected

I inspected the eaves, soffits and fascia. I was not able to inspect every detail, but evaluated the general condition and looked for defects.



## Wall-Covering, Flashing & Trim: Description of Wall-Covering Material

Wood

Homeowner tip: The sun, wind, rain and temperatures are constantly affecting the exterior of your home. Monitor the house's exterior for its condition and weather-tightness. Check the condition of all exterior wall-covering materials annually and look for developing patterns of damage or deterioration.

## Vegetation, Surface Drainage, Retaining Walls & Grading: Vegetation, Drainage, Walls & Grading Were Inspected

I inspected the vegetation, surface drainage, retaining walls and grading of the property, where they may adversely affect the structure due to moisture intrusion.

## GFCIs & Electrical: Inspected GFCIs

I inspected ground-fault circuit interrupter receptacles and circuit breakers observed and deemed to be GFCIs using a GFCI tester, where possible.

## Walkways & Driveways: Walkways & Driveways Were Inspected

I inspected the walkways and driveways that were adjacent to the house. The walkways, driveways, and parking areas that were far away from the house foundation were not inspected.

## Stairs, Steps, Stoops, Stairways & Ramps: Stairs, Steps, Stoops, Stairways & Ramps Were Inspected

I inspected the stairs, steps, stoops, stairways and ramps that were within the scope of my home inspection.

All treads should be level and secure. Riser heights and tread depths should be as uniform as possible. As a guide, stairs must have a maximum riser of 7-3/4 inches and a minimum tread depth of 10 inches.

## Porches, Patios, Decks, Balconies & Carports: Porches, Patios, Decks, Balconies & Carports Were Inspected

I inspected the porches, patios, decks, balconies and carports at the house that were within the scope of the home inspection.

Due to roofing material installed on the underside of the decks, I couldn't inspect the interface between the deck and the house. Ask the homeowner about history, installer, etc. for more information.

## Railings, Guards & Handrails: Railings, Guards & Handrails Were Inspected

I inspected the railings, guards and handrails that were within the scope of the home inspection.

## Windows: Windows Inspected

A representative number of windows from the ground surface was inspected.

## Limitations

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Wall-Covering, Flashing & Trim

### INSPECTION WAS RESTRICTED

I could not reach and access closely every part of the exterior wall-covering during my home inspection.

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GFCIs & Electrical

### UNABLE TO INSPECT EVERYTHING

I inspected the electrical system as much as I could according to the Home Inspection Standards of Practice. I was unable to inspect every electrical component or proper installation of the GFCI system according to modern code.

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Windows

### INSPECTION RESTRICTED

I did not inspect all windows. I did inspect a representative number of them. It's impossible to inspect every window component closely during a home inspection. A home inspection is not an exhaustive evaluation. I did not reach and access closely every window, particularly those above the first floor level.

## Recommendations

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3.1.1 General

### REMOVE BIRD NEST

Recommendation

Contact a qualified professional.



3.1.2 General

### PET DOORS CAN BE SECURITY ISSUES

Recommendation

Contact a qualified professional.





3.2.1 Eaves, Soffits & Fascia

 Major Defect

**DAMAGE OBSERVED AT FASCIA**

I observed indications that one or more areas of the fascia were damaged. Correction and further evaluation is recommended.

Recommendation

Contact a qualified general contractor.



3.2.2 Eaves, Soffits & Fascia

 Major Defect

**DAMAGE OBSERVED AT SOFFIT**



I observed indications that one or more areas of the soffit were damaged. Correction and further evaluation is recommended.

- Seal holes

#### Recommendation

Contact a qualified roofing professional.



### 3.3.1 Wall-Covering, Flashing & Trim

#### **DAMAGED WALL-COVERING MATERIAL**



I observed indications of a defect at the exterior wall-covering material. Correction and further evaluation is recommended. There are various areas of paint peeling, damage, or unconventional siding installation practices. I recommend further evaluation by a siding contractor.

#### Recommendation

Contact a qualified siding specialist.



3.3.2 Wall-Covering, Flashing & Trim

**CRACKING - MINOR**

Caulking showed cracking in one or more places. Recommend monitoring and repairing as needed.

Recommendation

Contact a handyman or DIY project

 Minor Defect / Maintenance



3.3.3 Wall-Covering, Flashing & Trim

**INADEQUATE GROUND CLEARANCE**

 Minor Defect / Maintenance

I checked the distance between the bottom of wood components and the ground surface (or grade). In regions that get little or no snow accumulation, the distance should be no less than 8 inches. In regions with significant lasting snow, the bottom of wood elements should be no less than 8 inches above the average snow depth.

Correction is recommended.

Recommendation

Contact a handyman or DIY project

### 3.5.1 GFCIs & Electrical

#### **MISSING GFCI**

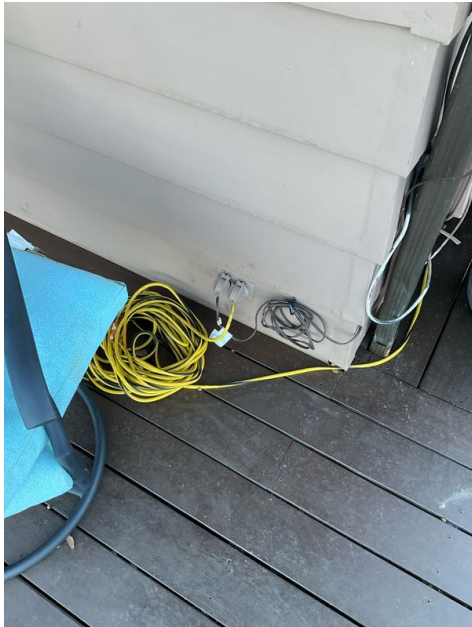


Minor Defect / Maintenance

I observed indications that a GFCIs are missing in areas that are required to keep people safe.

Recommendation

Contact a qualified electrical contractor.



### 3.5.2 GFCIs & Electrical

#### **ELECTRICAL DEFECT**



Major Defect

I observed indications of an electrical outlet with no power outside.

Recommendation

Contact a qualified electrical contractor.





### 3.5.3 GFCIs & Electrical

#### **MAJOR DEFECT**

I observed indications of a major defect during the inspection. Major defect. Hazard. Correction and further evaluation is recommended.

Recommendation

Contact a qualified electrical contractor.

 Material (Critical) Defect



### 3.8.1 Porches, Patios, Decks, Balconies & Carports

#### **DECK - WOOD ROT**

I observed wood rot at the deck. This condition is a structural defect. Correction and further evaluation of the deck is recommended.

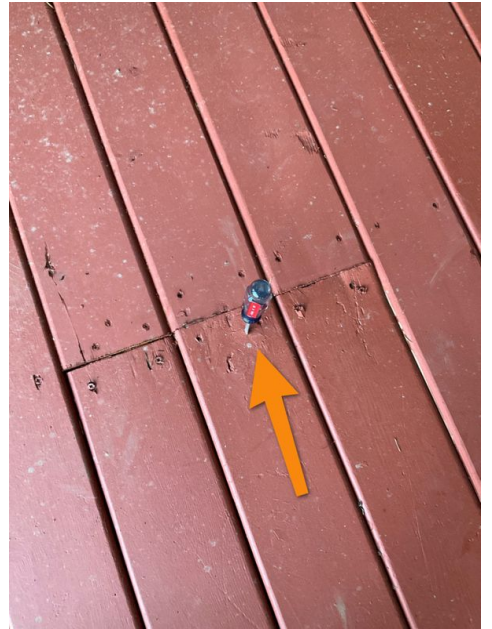
- Several areas of wood rot in the lower-level deck.

Recommendation

Contact a qualified deck contractor.

 Major Defect





3.8.2 Porches, Patios, Decks, Balconies & Carports

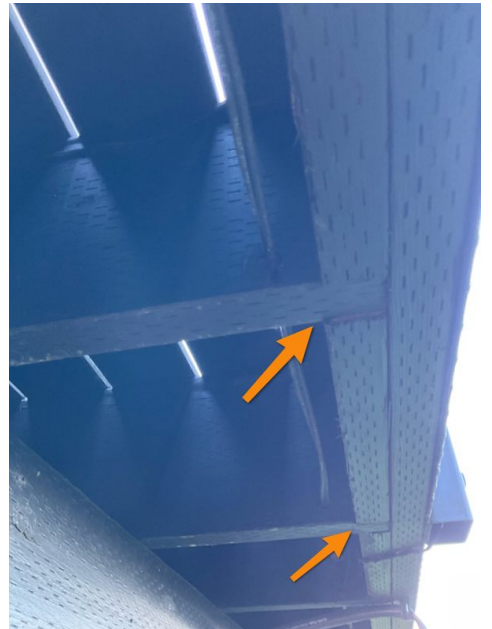
 Minor Defect / Maintenance

**JOIST HANGER DEFECT**

Due to blocking, I couldn't see the rim joist/joist connection. There are often joist hangers in the locations pictured, but the nearby beam appears to be carrying the load instead of the rim joist. Monitor for safety and longevity.

Recommendation

Contact a qualified deck contractor.



3.9.1 Railings, Guards & Handrails

 Major Defect

**MISSING GUARDRAIL**

Area pictured should have a guardrail. As a caution, guardrails with horizontal cables can encourage climbing among children. Watch children closely when on deck.

Recommendation

Contact a qualified deck contractor.



3.10.1 Windows

**CRACKED WINDOWPANE**

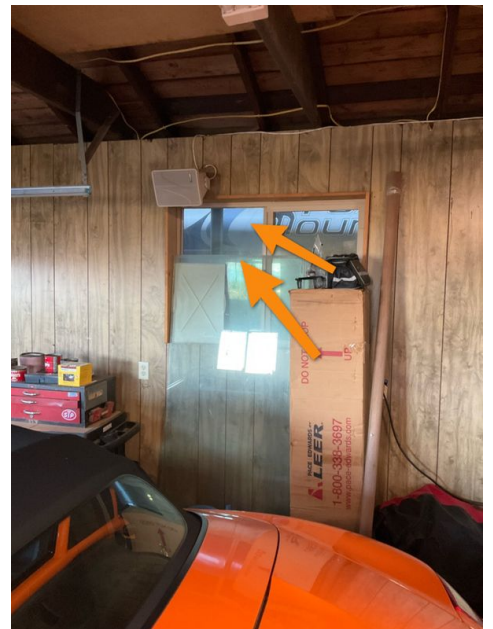
Major Defect

I observed a cracked glass windowpane in garage.

Correction and further evaluation is recommended.

Recommendation

Contact a qualified window repair/installation contractor.



3.11.1 Exterior Doors

**DAMAGED DOOR**

Major Defect

I observed damage to the door. It appears the door has extended beyond its normal stopping point, and I couldn't open the right/stationary side of the French doors. Also, a glass pane is missing, which can be a safety and energy loss issue.

Recommendation

Contact a qualified carpenter.

3.11.2 Exterior Doors

**SLIDER DOOR DEFECT**

Minor Defect / Maintenance

The sliding door is hard to open. Contact handyman for adjustment/evaluation.

Recommendation

Contact a handyman or DIY project

## 4: ATTACHED GARAGE

### Information

**Garage Floor: Garage Floor Inspected**

**Garage Vehicle Door: Type of Door Operation Opener**

**Garage Vehicle Door Opener: Garage Door Panels Were Inspected**

I inspected the garage door panels.

#### **Garage Vehicle Door Opener: Manual Release**

I checked for a manual release handle--a means of manually detaching the door from the door opener.

The handle should be colored red so that it can be seen easily. The handle should be easily accessible and no more than 6 feet above the garage floor. The handle should not be in contact with the top of a vehicles.

#### **Garage Vehicle Door Opener: Spring Warning Label Was Inspected**

I observed a spring warning label attached to the spring assembly or the back of the door panel. Good.

#### **Garage Vehicle Door Opener: Springs, Bracket & Hardware Were Inspected**

I closed the door and checked the springs for damage. If a spring was broken, operating the door can cause serious injury or death. I would not operate the door if there was damage.

I visually checked the doors hinges, brackets and fasteners. If the door had an opener, the door must have an opener-reinforcement bracket that is securely attached to the doors top section. The header bracket of the opener rail must be securely attached to the wall or header using lag bolts or concrete anchors.

#### **Garage Vehicle Door Opener: Wall Push Button Was Inspected**

I inspected the wall button. The wall button should be at least 5 feet above the standing surface, and high enough to be out of reach of small children. I pressed the push button to see if it successfully operated the door.

#### **Garage Vehicle Door Opener: Non-Contact Reversal Was Inspected**

I observed the auto-reverse feature during a non-contact test.

Standing inside the garage but safely away from the path of the door, I used the remote control or wall button to close the door. As the door was closing, I waved an object in the path of the photoelectric eye beam. The door should automatically reverse.

#### **Garage Vehicle Door Opener: Photo-Electric Eyes Were Inspected**

I inspected the photo-electric eyes.

Federal law states that residential garage door openers manufactured after 1992 must be equipped with photo-electric eyes or some other safety-reverse feature that meets UL 325 standards.

I checked to see if photo-electric eyes are installed. The vertical distance between the photo-eye beam and the floor should be no more than 6 inches.

#### **Ceiling, Walls & Firewalls in Garage: Garage Ceiling & Walls Were Inspected**

I inspected the ceiling and walls of the garage according to the Home Inspection Standards of Practice.



## Recommendations

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### 4.1.1 Garage Floor

#### **CRACKED CONCRETE AT GARAGE FLOOR**



I observed indications of cracks in the garage concrete floor, normal for a house this age. This can be remedied if desired.

Recommendation

Recommend monitoring.

---

### 4.3.1 Garage Vehicle Door Opener

#### **SAFETY REVERSE NON-FUNCTIONAL**



I attempted to stop the garage door from closing, simulating it accidentally closing on an object. It should have reversed with reasonable resistive force, and did not.

Recommendation

Contact a qualified professional.

---

### 4.4.1 Electric in Garage

#### **MISSING GFCI-PROTECTION IN GARAGE**



I observed a receptacle in the attached garage without GFCI (or ground fault circuit interrupter) protection.

GFCI protection is required for all 15- and 20-amp receptacles, including outlets for refrigerators, garage door openers, and washing machines.

Recommendation

Contact a qualified electrical contractor.

---

### 4.4.2 Electric in Garage

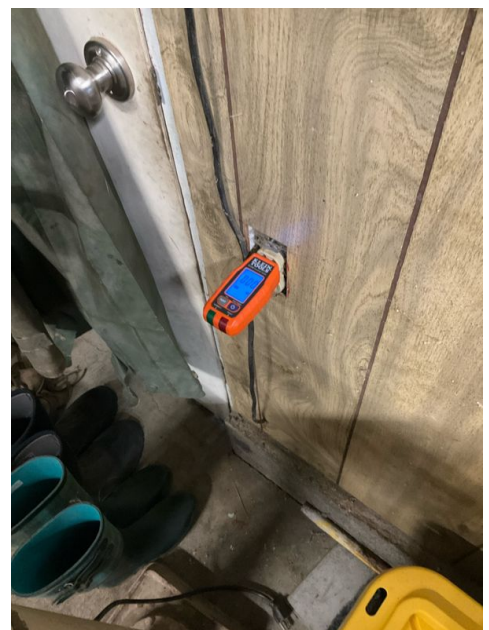
#### **POWER NOT PRESENT AT RECEPTACLE**



I observed indications that power was not present at a receptacle outlet in the garage. Further evaluation is recommended.

Recommendation

Contact a qualified professional.



4.4.3 Electric in Garage

**LOOSE ELECTRICAL LINES IN GARAGE**

 Minor Defect / Maintenance

I observed loose electrical lines, exposed and unprotected, in the garage. Not professionally installed. Potentially hazardous.

Recommendation

Contact a qualified electrical contractor.

4.4.4 Electric in Garage

**MISSING COVERS**

 Major Defect

Recommendation

Contact a qualified professional.



4.5.1 Ceiling, Walls & Firewalls in Garage

**DOOR WAS NOT A FIRE-RATED DOOR**

 Major Defect

I observed that the door between the garage and the house is not a fire-rated door. This is a fire hazard.

The door between the garage and the house should be a solid wood door at least 1-3/8 inches thick, a solid or honeycomb-core steel door at least 1-3/8 inches thick, or a 20-minute fire-rated door.

Recommendation

Contact a qualified carpenter.



## 4.5.2 Ceiling, Walls &amp; Firewalls in Garage

 Major Defect**ATTIC ACCESS PANEL IN GARAGE CEILING DEFECT**

I observed an attic access panel in the ceiling of the garage. Firewall breach. Hazard. Defect.

There must not be any openings in the drywall of the garage. All openings must be patched and repaired properly.

There must be at least 1/2-inch thick gypsum board or equivalent applied to the garage side to separate the garage and the house or attic space.

There must be at least 5/8-inch thick Type X gypsum board or equivalent applied to the garage side to separate the garage from the habitable room above the garage.

## Recommendation

Contact a qualified general contractor.

## 4.5.3 Ceiling, Walls &amp; Firewalls in Garage

 Major Defect**FIREWALL NOT UP TO CODE**

Firewall separating the home and garage is not compliant with modern building standards. Firewalls should be built with materials to prevent the spreading of a fire into the home living space. Recommend a qualified contractor evaluate and bring firewall up to standards.

[Link for more info.](#)

## Recommendation

Contact a qualified professional.



## 4.7.1 Garage sink

**REPLACE SINK LEG** Minor Defect / Maintenance

Replace leg on garage sink.

## Recommendation

Contact a handyman or DIY project

## 5: ATTIC, INSULATION & VENTILATION

### Information

**Structural Components & Observations in Attic: Structural Components Were Inspected**

Structural components were observed only from the attic hatch. I could not safely enter the attic.



### Insulation in Attic: Insulation Was Inspected

Due to restricted access, I only observed the insulation from the attic hatch.

During the home inspection, I inspected for insulation in unfinished spaces, including the attic. I inspected for ventilation of unfinished spaces, including attics, crawlspaces and foundation areas. And I inspected mechanical exhaust systems in the kitchen, bathrooms and laundry area.

I attempted to describe the type of insulation observed and the approximate average depth of insulation observed at the unfinished attic floor area or roof structure.

I reported as in need of correction the general absence of insulation or ventilation in unfinished spaces.

### Insulation in Attic: Type of Insulation Observed

Fiberglass, Loose fill



### Insulation in Attic: Approximate Average Depth of Insulation

insulation thickness varied greatly, 1-3 inches, greater than 12 inches

Determining how much insulation should be installed in a house depends upon where a home is located. The amount of insulation that should be installed at a particular area of a house is dependent upon which climate zone the house is located and the local building codes.

## Limitations

Structural Components & Observations in Attic

### COULD NOT SEE EVERYTHING IN ATTIC

I could not see and inspect everything in the attic space. The access is restricted and my inspection is limited.

Ventilation in Attic

### INACCESSIBLE ATTIC

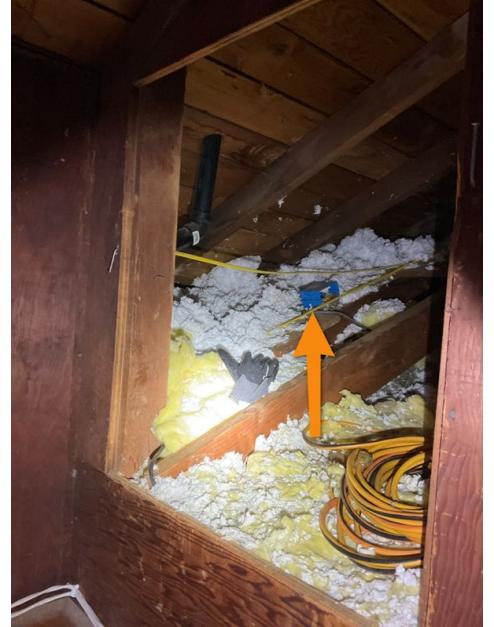
## Recommendations

## 5.1.1 Structural Components &amp; Observations in Attic

 Major Defect**OPEN ELECTRICAL**

Recommendation

Contact a qualified professional.



## 5.2.1 Insulation in Attic

 Minor Defect / Maintenance**INSULATION COMPRESSED BY STEPS**

I observed indications that the insulation in the attic was stepped upon. The insulation in those areas are compressed. The insulation is not as thick and not performing as expected. Adding insulation in these areas is recommend.

Recommendation

Contact a qualified insulation contractor.

## 5.2.2 Insulation in Attic

 Minor Defect / Maintenance**ADDITIONAL INSULATION RECOMMENDED**

I recommend air sealing and adding insulation to the areas that need more insulation.

Recommendation

Contact a qualified insulation contractor.

## 5.2.3 Insulation in Attic

 Minor Defect / Maintenance**IMPROPER INSTALLATION**

I observed indications that the insulation was improperly installed.

Recommendation

Contact a qualified insulation contractor.

## 6: HEATING

### Information

**Heating System Information:  
Energy Source**

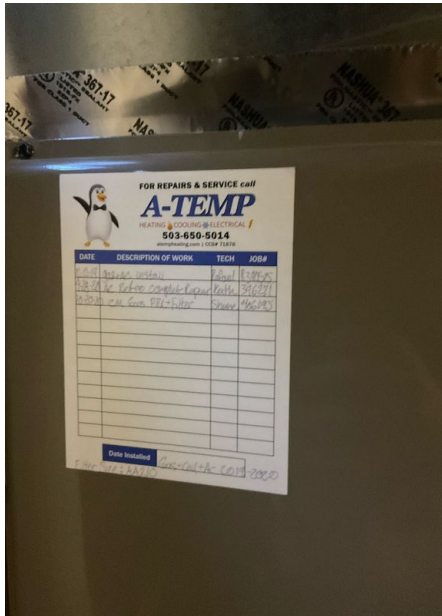
Gas

**Heating System Information:  
Heating Method**

Warm-Air Heating System

**Thermostat and Normal  
Operating Controls: Thermostat**

**Location**  
Dining room



**Heating System Information: Homeowner's Responsibility**

Most HVAC (heating, ventilating and air-conditioning) systems in houses are relatively simple in design and operation. They consist of four components: controls, fuel supply, heating or cooling unit, and distribution system. The adequacy of heating and cooling is often quite subjective and depends upon occupant perceptions that are affected by the distribution of air, the location of return-air vents, air velocity, the sound of the system in operation, and similar characteristics.

Get the HVAC system inspected and serviced every year. And if your system has an air filter, be sure to keep that filter clean. Filters generally last 3-12 months.

**Thermostat and Normal Operating Controls: Emergency Shut-Off Switch Inspected**

I observed an emergency shut-off switch. I inspected it. It worked when I used it during my inspection.

**Thermostat and Normal Operating Controls: Service Switch Inspected**

I observed a service switch. I inspected it. It worked when I used it during my inspection.

# 7: COOLING

## Information

**Cooling System Information: Homeowner's Responsibility**

Most air-conditioning systems in houses are relatively simple in design and operation. The adequacy of the cooling is often quite subjective and depends upon occupant perceptions that are affected by the distribution of air, the location of return-air vents, air velocity, the sound of the system in operation, and similar characteristics.

Have the air conditioning system inspected and serviced every year. And if your system has an air filter, be sure to keep that filter cleaned.



### Thermostat and Normal Operating Controls: Thermostat Location

Dining room



### Condensate: Condensate Discharge Confirmed

I observed a discharge pipe apparently connected to the condensate pump installed at the cooling system. It appeared to drain into sump near bar.

## Limitations

Cooling System Information

### COOL TEMPERATURE RESTRICTION

Because the outside temperature was too cool to operate the air conditioner without the possibility of damaging the system, I did not operate the cooling system. Inspection restriction. Ask the homeowner about the system, including past performance.

# 8: PLUMBING

## Information

### Main Water Shut-Off Valve:

#### Location of Main Shut-Off Valve

Unable to Determine

Ask homeowner for location of main water shutoff.

**Main Fuel Supply Shut-Off Valve: Hot Water Source: Inspected TPR Valve**  
**Location of Main Shut-Off Valve**

Side of House

Shutoff at gas meter, under carport.

I inspected the temperature and pressure relief valve.

**Hot Water Source: Inspected Venting Connections**

I inspected the venting connections.

**Main Water Shut-Off Valve: Homeowner's Responsibility**

During my inspection, I couldn't locate the main water shutoff valve due to obstructed access by owner's belongings.

Ask the homeowner about the water shutoff valve. It's important for you to know where the main water and fuel shutoff valves are located. And be sure to keep an eye out for any water and plumbing leaks.

**Water Supply : Water Supply Is Public**

The water supply to the house appeared to be from the public water supply source based upon the observed indications at the time of the inspection. To confirm and be certain, I recommend asking the homeowner for details.

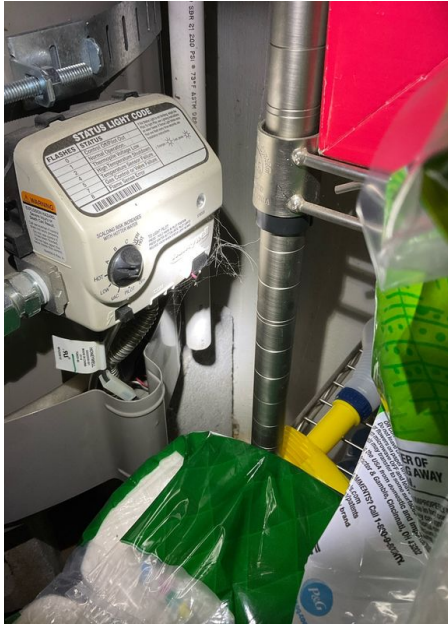
**Hot Water Source: Type of Hot Water Source**

Gas-Fired Hot Water Tank

I inspected for the main source of the distributed hot water to the plumbing fixtures (sinks, tubs, showers). I recommend asking the homeowner for details about the hot water equipment and past performance.

## Hot Water Source: Inspected Hot Water Source

I inspected the hot water source and equipment according to the [Home Inspection Standards of Practice](#).



## Drain, Waste, & Vent Systems: Inspected Drain, Waste, Vent Pipes

I attempted to inspect the drain, waste, and vent pipes. Not all of the pipes and components were accessible and observed. Inspection restriction. Ask the homeowner about water and sewer leaks or blockages in the past.

## Water Supply & Distribution Systems: Inspected Water Supply & Distribution Pipes

I attempted to inspect the water supply and distribution pipes (plumbing pipes). Not all of the pipes and components were accessible and observed. Inspection restriction. Ask the homeowner about water supply, problems with water supply, and water leaks in the past.

## Limitations

Drain, Waste, & Vent Systems

### **NOT ALL PIPES WERE INSPECTED**

The inspection was restricted because not all of the pipes were exposed, readily accessible, and observed. For example, most of the drainage pipes were hidden within the walls.

Water Supply & Distribution Systems

### **NOT ALL PIPES WERE INSPECTED**

The inspection was restricted because not all of the water supply pipes were exposed, readily accessible, and observed. For example, most of the water distribution pipes, valves and connections were hidden within the walls.

## Recommendations

8.4.1 Hot Water Source

### **DEFECT AT TPR VALVE DISCHARGE**



Major Defect



I observed a defect at the TPR (temperature, pressure, and relief) valve. The discharge pipe that serves a temperature pressure relief valve must:

- Not be connected to the drainage system.
- Discharge through an air gap located in the same room as the water heater.
- Not be smaller than the diameter of the outlet of the valve.
- Serve a single relief device.
- Discharge to the floor.
- Discharge in a manner that does not cause personal injury or structural damage.
- Discharge to a termination point that is readily observable.
- Not be trapped.
- Be installed so as to flow by gravity.
- Terminate no more than 6 inches above the floor or flood level rim of the waste receptor. And not less than 2 times the discharge pipe diameter.
- Not have valves or tee fittings.
- Be constructed of materials listed or rated for such use.
- Be one nominal size larger than the size of the relief valve outlet, where the relief valve discharge piping is installed with insert fittings.

Recommendation

Contact a qualified plumbing contractor.

#### 8.4.2 Hot Water Source

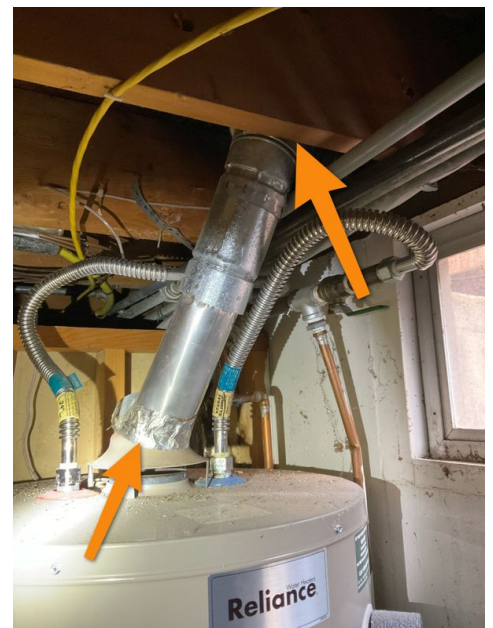
### DEFECT AT VENT CONNECTION PIPE

Major Defect

I observed a defect at the vent connection pipe of the hot water source.

Recommendation

Contact a qualified plumbing contractor.



#### 8.6.1 Water Supply & Distribution Systems

### DEFICIENCY IN THE HOT & COLD WATER SUPPLY



Minor Defect / Maintenance

Low water pressure in various areas of the house. Overall water pressure 60PSI, measured at outdoor spigot.

Recommendation

Contact a qualified plumbing contractor.

8.6.2 Water Supply & Distribution Systems

**TOILET LOOSE CONNECTION TO FLOOR**

Repair/replace caulking around toilet-ground interface.

Recommendation

Contact a qualified plumbing contractor.

 Minor Defect / Maintenance

8.6.3 Water Supply & Distribution Systems

**DEFECT AT TWO FIXTURES OPERATED SIMULTANEOUSLY**

I observed indications of a defect in the water supply by viewing the functional flow in two fixtures operated simultaneously.

Recommendation

Contact a qualified plumbing contractor.

 Minor Defect / Maintenance

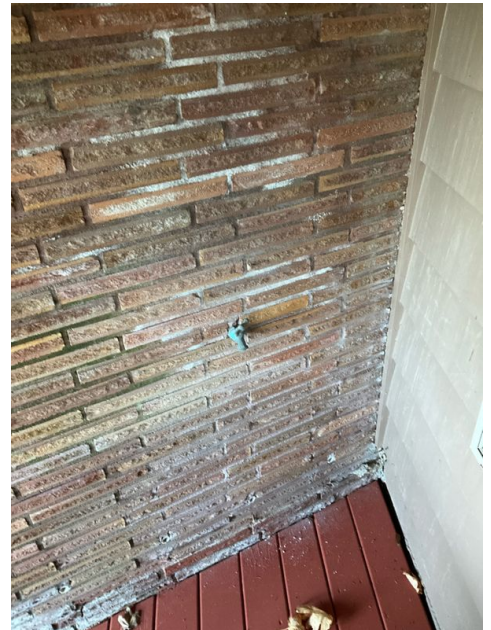
8.6.4 Water Supply & Distribution Systems

**OUTDOOR SPIGOT DOESN'T HAVE WATER.**

Recommendation

Contact a qualified professional.

 Major Defect



## 9: ELECTRICAL

### Information

**Service Drop: Inspected the Service Drop**

I inspected the electrical service drop.

**Service Head, Gooseneck & Drip Loops: Inspected the Service Head, Gooseneck & Drip Loops**

I inspected the electrical service head, gooseneck and drip loops.

**Service Mast, Service Conduit & Raceway: Inspected the Service Mast, Service Conduit & Raceway**

I inspected the electrical service mast, service conduit and raceway.

**Electric Meter & Base: Inspected the Electric Meter & Base**

I inspected the electrical electric meter and base.

**Service-Entrance Conductors: Inspected Service-Entrance Conductors**

I inspected the electrical service-entrance conductors.

**Main Service Disconnect: Inspected Main Service Disconnect**

Garage

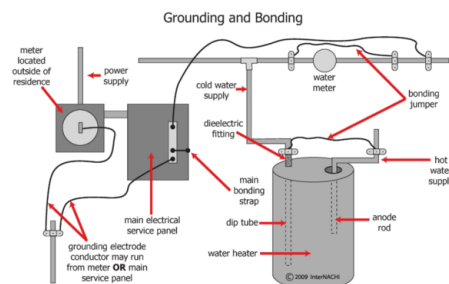
I inspected the electrical main service disconnect.

**Electrical Wiring: Type of Wiring, If Visible**

NM-B (Romex), Old Ungrounded Wiring

**Service Grounding & Bonding: Inspected the Service Grounding & Bonding**

Due to limited access, I couldn't locate all grounding and bonding wires.

**Overhead Service Conductors & Attachment Point: Inspected the Overhead Service Conductors & Attachment Point**

I inspected the electrical overhead service conductors and attachment point.

**Main Service Disconnect: Homeowner's Responsibility**

**It's your job** to know where the main electrical panel is located, including the main service disconnect that turns everything off.

Be sure to test your GFCIs, AFCIs, and smoke detectors regularly. You can replace light bulbs, but anything more than that you ought to hire an electrician. Electrical work is hazardous and mistakes can be fatal. Hire a professional whenever there's an electrical problem in your house.

**Main Service Disconnect: Main Disconnect Rating, If Labeled**

200

I observed indications of the main service disconnect's amperage rating. It was labeled.

**Panelboards & Breakers: Inspected Main Panelboard & Breakers**

I inspected the electrical panelboards and over-current protection devices (circuit breakers and fuses).

**Panelboards & Breakers: Inspected Subpanel & Breakers**

I inspected the electrical subpanel and over-current protection devices (circuit breakers and fuses).

**AFCIs: Inspected AFCIs**

I inspected receptacles observed that were deemed to be arc-fault circuit interrupter (AFCI)-protected using the AFCI test button, where possible.

**GFCIs: Inspected GFCIs**

I inspected ground-fault circuit interrupter receptacles and circuit breakers observed and deemed to be GFCIs using a GFCI tester, where possible.

## Limitations



## Electrical Wiring

**UNABLE TO INSPECT ALL OF THE WIRING**

I was unable to inspect all of the electrical wiring. Obviously, most of the wiring is hidden from view within walls. Beyond the scope of a visual home inspection.

## Service Grounding &amp; Bonding

**UNABLE TO CONFIRM PROPER GROUNDING AND BONDING**

I was unable to confirm proper installation of the system grounding and bonding according to modern code. A licensed electrician or township building code inspector could perform that type of test, which is beyond the scope of my visual-only home inspection. I inspected the grounding and bonding as much as I could according to the Home Inspection Standards of Practice.

## GFCIs

**UNABLE TO INSPECT EVERYTHING**

I was unable to inspect every electrical component or proper installation of the GFCI system according to modern code. A licensed electrician or township building code inspector could perform that type of test, which is beyond the scope of my visual-only home inspection. I inspected the electrical system as much as I could according to the Home Inspection Standards of Practice.

## Recommendations

## 9.13.1 Electrical Defects

**CLOSET LIGHT DEFECT** Major Defect

I observed indications of an improper location of a lighting fixture inside a clothes closet. Potential fire hazard.

An open incandescent light bulb is not allowed in a clothes closet.

The light bulb must have an adequate clearance between it and storage space.

## Recommendation

Contact a qualified electrical contractor.

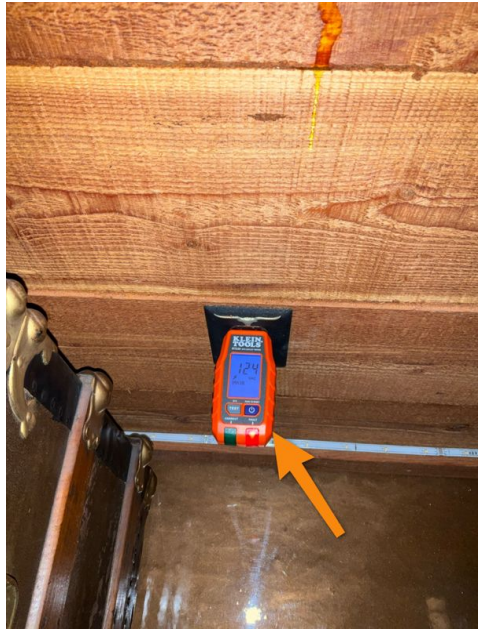
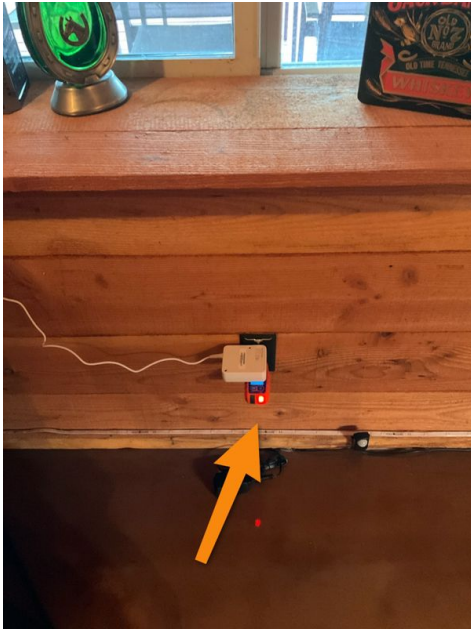
## 9.13.2 Electrical Defects

**OPEN GROUNDS** Major Defect

Open grounds are present in various areas of the house.

## Recommendation

Contact a qualified electrical contractor.



## 10: BATHROOMS

### Information

#### Bathroom Toilets: Toilets Inspected

I flushed all of the toilets.

#### Heat Source in Bathroom: Heat Source in Bathroom Was Inspected

I inspected the heat source in the bathroom (register/baseboard).

### Sinks, Tubs & Showers: Ran Water at Sinks, Tubs & Showers

I ran water at all bathroom sinks, bathtubs, and showers. I inspected for deficiencies in the water supply by viewing the functional flow in two fixtures operated simultaneously.

### Bathroom Exhaust Fan / Window: Inspected Bath Exhaust Fans

I inspected the exhaust fans of the bathroom(s). All mechanical exhaust fans should terminate outside. Confirming that the fan exhausts outside is beyond the scope of a home inspection.

### GFCI & Electric in Bathroom: GFCI-Protection Tested

I inspected the GFCI-protection at the receptacle near the bathroom sink by pushing the test button at the GFCI device or using a GFCI testing instrument.

All receptacles in the bathroom must be GFCI protected.

## Recommendations

---

#### 10.2.1 Sinks, Tubs & Showers

 Major Defect

### INADEQUATE WATER FLOW AT FIXTURE

I observed indications of a defect in the water supply by viewing the functional flow in two fixtures operated simultaneously. The flow was not as strong as expected.

#### Recommendation

Contact a qualified plumbing contractor.

---

#### 10.4.1 GFCI & Electric in Bathroom

 Major Defect

### RECEPTACLE IS NOT GFCI PROTECTED

I observed that the receptacle in the bathroom is not testing as being GFCI protected. This is a hazardous condition.

#### Recommendation

Contact a qualified electrical contractor.

---

#### 10.4.2 GFCI & Electric in Bathroom

 Major Defect

### OPEN GROUND

Open grounds in multiple bathrooms

#### Recommendation

Contact a qualified professional.

---



## 11: DOORS, WINDOWS & INTERIOR

### Information

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#### **Doors: Doors Inspected**

I inspected a representative number of doors according to the [Home Inspection Standards of Practice](#) by opening and closing them. I did not operate door locks and door stops, which is beyond the scope of a home inspection.

#### **Windows: Windows Inspected**

I inspected a representative number of windows according to the [Home Inspection Standards of Practice](#) by opening and closing them. I did not operate window locks and operation features, which is beyond the scope of a home inspection.

#### **Switches, Fixtures & Receptacles: Inspected a Switches, Fixtures & Receptacles**

I inspected a representative number of switches, lighting fixtures and receptacles.

#### **Floors, Walls, Ceilings: Floors, Walls, Ceilings Inspected**

Due to the occupant's belongings, it was difficult to achieve a thorough floor and wall inspection. I inspected the readily visible surfaces of floors, walls and ceilings. I looked for defects according to the [Home Inspection Standards of Practice](#).

#### **Stairs, Steps, Stoops, Stairways & Ramps: Stairs, Steps, Stoops, Stairways & Ramps Were Inspected**

I inspected the stairs, steps, stoops, stairways and ramps that were within the scope of my home inspection.

All treads should be level and secure. Riser heights and tread depths should be as uniform as possible. As a guide, stairs must have a maximum riser of 7-3/4 inches and a minimum tread of 10 inches.

#### **Railings, Guards & Handrails: Railings, Guards & Handrails Were Inspected**

I inspected a representative number railings, guards and handrails that were within the scope of the home inspection.



## Presence of Smoke and CO Detectors: Inspected for Presence of Smoke and CO Detectors

I inspected for the presence of smoke and carbon-monoxide detectors.

There should be a smoke detector in every sleeping room, outside of every sleeping room, and one every level of a house.

## Limitations

Switches, Fixtures & Receptacles

### UNABLE TO INSPECT EVERYTHING

I was unable to inspect every electrical component or proper installation of the system according to modern code. A licensed electrician or township building code inspector could perform that type of test, which is beyond the scope of my visual-only home inspection. I inspected the electrical system as much as I could according to the Home Inspection Standards of Practice.

Presence of Smoke and CO Detectors

### UNABLE TO TEST EVERY DETECTOR

I was unable to test every detector. We recommend testing all of the detectors. Ask the seller about the performance of the detectors and of any issues regarding them. We recommend replacing all of the detectors (smoke and carbon monoxide) with new ones just for peace of mind and for safety concerns.

## Recommendations

11.3.1 Switches, Fixtures & Receptacles

### LOOSE RECEPTACLE

 Major Defect

I observed indications of a loosely connected receptacle. Not properly secured to the wall.

Recommendation

Contact a qualified electrical contractor.

11.3.2 Switches, Fixtures & Receptacles

### MISSING GROUND AT RECEPTACLE

 Major Defect

I observed indications of a missing, open, or disconnected ground at a receptacle. Hazard.

Recommendation

Contact a qualified electrical contractor.

11.4.1 Floors, Walls, Ceilings

### DAMAGED (GENERAL)

 Minor Defect / Maintenance

There is bubbling in the floor of the saloon area NE corner. This is likely an installation defect.

11.6.1 Railings, Guards & Handrails

### LOOSE RAILING COMPONENT

 Minor Defect / Maintenance

I observed a loose railing component. This condition is a safety hazard.

Correction and further evaluation is recommended.

Recommendation

Contact a qualified handyman.

11.7.1 Presence of Smoke and CO Detectors

**MISSING SMOKE DETECTOR**



I observed indications of a missing smoke detector downstairs.

Recommendation

Contact a handyman or DIY project

## 12: LAUNDRY

### Information

**Clothes Washer:** Clothes washer  
Powers On

**Clothes Dryer:** Clothes Dryer  
Powers On

### Limitations

Clothes Washer

**DID NOT INSPECT**

I did not inspect the clothes washer and dryer fully. These appliances are beyond the scope of a home inspection. I did not operate the appliances. The clothes dryer exhaust pipe must be inspected and cleaned every year to help prevent house fires.

Clothes Dryer

**DID NOT INSPECT**

I did not inspect the clothes washer and dryer fully. These appliances are beyond the scope of a home inspection. I did not operate the appliances. The clothes dryer exhaust pipe must be inspected and cleaned every year to help prevent house fires.

### Recommendations

12.3.1 Laundry Room, Electric, and Tub

**MISSING GFCI PROTECTION**



I observed that there is missing GFCI protection at the receptacles in the laundry room.

All 120-volt, 15- and 20-amp outlets in laundry rooms must be AFCI and GFCI protected. 2014 NEC 210.8(A) (10) & 210.12(A)

Recommendation

Contact a qualified electrical contractor.

12.3.2 Laundry Room, Electric, and Tub

### **HOT/COLD REVERSED**

Recommendation

Contact a handyman or DIY project



Minor Defect / Maintenance

## 13: FIREPLACE / STOVE

### Information

#### **Fireplace: Type of Fireplace**

Masonry, Stove Insert

#### **Fireplace: Lintel**

I observed the lintel above the fireplace opening.

#### **Fireplace: Damper Door**

I inspected the fireplace damper doors by opening and closing them, if they were readily accessible and manually operable.

#### **Wood-Burning Stove: Not Inspected**

The home inspection did not include the wood-burning stove and its components. A stove is not part of a home inspection. Please ask the homeowner or occupant about the stove, how it works, how to maintain it, and what problems may exist.

### Limitations

Fireplace

#### **FIREPLACE AND STACK INSPECTION LIMITATIONS**

Not everything of the fireplace and chimney stack system and components are inspected because they are not part of the Home Inspection Standards of Practice. I inspected only what I am required to inspect and only what was visible during the home inspection. I recommend hiring a certified chimney sweep to inspect, sweep, and further evaluate the interior of the fireplace system immediately and every year as part of a homeowner's routine maintenance plan.

## 14: KITCHEN

## Information

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### Kitchen Sink: Ran Water at Kitchen Sink

I ran water at the kitchen sink.

### Garbage Disposal: Turned On Garbage Disposal

I turned on the garbage disposal.

### Range/Oven/Cooktop: Turned On Stove & Oven

I turned on the kitchen's stove and oven.

### GFCI: GFCI Tested

I observed ground fault circuit interrupter (GFCI) protection in the kitchen.

### Dishwasher: Inspected Dishwasher

I inspected the dishwasher by turning it on and letting it run a short cycle.

### Exhaust Fan: Inspected Exhaust Fan

I inspected the exhaust fan in the kitchen. All mechanical exhaust fans should terminate outside. Confirming that the fan exhausts outside is beyond the scope of a home inspection.

### Refrigerator: Refrigerator Was On

I checked to see if the refrigerator was on. It was. That's all I inspected in relation to a refrigerator. Refrigerators are beyond the scope of a home inspection.

### Built-in Microwave: Microwave Turned On

I observed that the microwave turned on. I do nothing more than that. Microwaves are beyond the scope of a home inspection.

### Countertops & Cabinets: Inspected Cabinets & Countertops

I inspected a representative number of cabinets and countertop surfaces.

### Floors, Walls, Ceilings: Floors, Walls, Ceilings Inspected

I inspected the readily visible surfaces of floors, walls and ceilings.

### Windows: Windows Inspected

I inspected a representative number of windows according to the [Home Inspection Standards of Practice](#) by opening and closing them. I did not operate window locks and operation features, which is beyond the scope of a home inspection.

## Limitations

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Dishwasher

### DISHWASHER WAS NOT OPERATED

I did not operate the dishwasher. It was full of dishes and making noises as if it was already running.

## Recommendations

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14.3.1 GFCI

### MISSING GFCI PROTECTION

I observed indications of missing GFCI protection in the kitchen. All kitchen counter receptacles are required to be GFCI protected.





Recommendation

Contact a qualified electrical contractor.

14.3.2 GFCI

**LOOSE OUTLET**

Recommendation

Contact a qualified professional.

 Minor Defect / Maintenance



14.9.1 Built-in Microwave

**DRAWER MUST BE EXTENDED TO USE MICROWAVE**

 Minor Defect / Maintenance



14.10.1 Countertops & Cabinets

**COUNTERTOP NEEDS CAULKING**

Recommendation

Contact a qualified professional.

 Minor Defect / Maintenance



## 15: KITCHEN 2

### Information

---

#### **Kitchen Sink: Ran Water at Kitchen Sink**

I ran water at the kitchen sink.

#### **Range/Oven/Cooktop: Turned On Stove & Oven**

I turned on the kitchen's stove and oven.

#### **GFCI: GFCI Tested**

I observed ground fault circuit interrupter (GFCI) protection in the kitchen.

#### **Dishwasher: Inspected Dishwasher**

I inspected the dishwasher by turning it on and letting it run a short cycle.

#### **Exhaust Fan: Inspected Exhaust Fan**

I inspected the exhaust fan in the kitchen. All mechanical exhaust fans should terminate outside. Confirming that the fan exhausts outside is beyond the scope of a home inspection.

#### **Refrigerator: Refrigerator Was On**

I checked to see if the refrigerator was on. It was. That's all I inspected in relation to a refrigerator. Refrigerators are beyond the scope of a home inspection.

#### **Built-in Microwave: Microwave Turned On**

I observed that the microwave turned on. I do nothing more than that. Microwaves are beyond the scope of a home inspection.

#### **Countertops & Cabinets: Inspected Cabinets & Countertops**

I inspected a representative number of cabinets and countertop surfaces.

## Floors, Walls, Ceilings: Floors, Walls, Ceilings Inspected

I inspected the readily visible surfaces of floors, walls and ceilings.

## Windows: Windows Inspected

I inspected a representative number of windows according to the [Home Inspection Standards of Practice](#) by opening and closing them. I did not operate window locks and operation features, which is beyond the scope of a home inspection.

## Limitations

Range/Oven/Cooktop

### VERY OLD APPLIANCE

I observed indications that the appliance is very old.

Range/Oven/Cooktop

### COOKTOP OBSTRUCTED



## Recommendations

15.1.1 Kitchen Sink

### LOW HOT WATER FLOW

Recommendation

Contact a qualified professional.



Minor Defect / Maintenance



15.3.1 GFCI

### **MISSING GFCI PROTECTION**

Major Defect

I observed indications of missing GFCI protection in the kitchen. All kitchen counter receptacles are required to be GFCI protected.

Recommendation

Contact a qualified electrical contractor.

15.6.1 Range/Oven/Cooktop

### **OVEN NOT HEATING UP**

Minor Defect / Maintenance

I observed that the oven was not heating up.

Recommendation

Contact a qualified professional.

15.6.2 Range/Oven/Cooktop

### **COOKTOP OBSTRUCTED - DID NOT TEST**

Minor Defect / Maintenance

Unsure of condition of burners - did not operate due to obstruction.



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# STANDARDS OF PRACTICE

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## Inspection Detail

Please refer to the [Home Inspection Standards of Practice](#) while reading this inspection report. I performed the home inspection according to the standards and my clients wishes and expectations. Please refer to the inspection contract or agreement between the inspector and the inspector's client.

## Roof

Please refer to the [Home Inspection Standards of Practice](#) related to inspecting the roof of the house.

Monitor the roof covering because any roof can leak. To monitor a roof that is inaccessible or that cannot be walked on safely, use binoculars. Look for deteriorating or loosening of flashing, signs of damage to the roof covering and debris that can clog valleys and gutters.

Roofs are designed to be water-resistant. Roofs are not designed to be waterproof. Eventually, the roof system will leak. No one can predict when, where or how a roof will leak.

### I. The inspector shall inspect from ground level or the eaves:

1. the roof-covering materials;
2. the gutters;
3. the downspouts;
4. the vents, flashing, skylights, chimney, and other roof penetrations; and
5. the general structure of the roof from the readily accessible panels, doors or stairs.

### II. The inspector shall describe:

1. the type of roof-covering materials.

### III. The inspector shall report as in need of correction:

1. observed indications of active roof leaks.

## Exterior

Please refer to the [Home Inspection Standards of Practice](#) related to inspecting the exterior of the house.

### I. The inspector shall inspect:

1. the exterior wall-covering materials;
2. the eaves, soffits and fascia;
3. a representative number of windows;
4. all exterior doors;
5. flashing and trim;
6. adjacent walkways and driveways;
7. stairs, steps, stoops, stairways and ramps;
8. porches, patios, decks, balconies and carports;
9. railings, guards and handrails; and
10. vegetation, surface drainage, retaining walls and grading of the property, where they may adversely affect the structure due to moisture intrusion.

### II. The inspector shall describe:

1. the type of exterior wall-covering materials.

### III. The inspector shall report as in need of correction:

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1. any improper spacing between intermediate balusters, spindles and rails.

**Attached Garage****The inspector shall inspect:**

garage vehicle doors and the operation of garage vehicle door openers, using normal operating controls.

**The inspector shall describe:**

a garage vehicle door as manually-operated or installed with a garage door opener.

**Attic, Insulation & Ventilation****The inspector shall inspect:**

insulation in unfinished spaces, including attics, crawlspaces and foundation areas; ventilation of unfinished spaces, including attics, crawlspaces and foundation areas; and mechanical exhaust systems in the kitchen, bathrooms and laundry area.

**The inspector shall describe:**

the type of insulation observed; and the approximate average depth of insulation observed at the unfinished attic floor area or roof structure.

**The inspector shall report as in need of correction:**

the general absence of insulation or ventilation in unfinished spaces.

**Heating****I. The inspector shall inspect:**

1. the heating system, using normal operating controls.

**II. The inspector shall describe:**

1. the location of the thermostat for the heating system;
2. the energy source; and
3. the heating method.

**III. The inspector shall report as in need of correction:**

1. any heating system that did not operate; and
2. if the heating system was deemed inaccessible.

**Cooling****I. The inspector shall inspect:**

1. the cooling system, using normal operating controls.

**II. The inspector shall describe:**

1. the location of the thermostat for the cooling system; and
2. the cooling method.

**III. The inspector shall report as in need of correction:**

1. any cooling system that did not operate; and
2. if the cooling system was deemed inaccessible.

**Plumbing****I. The inspector shall inspect:**

1. the main water supply shut-off valve;
2. the main fuel supply shut-off valve;
3. the water heating equipment, including the energy source, venting connections, temperature/pressure-relief (TPR) valves, Watts 210 valves, and seismic bracing;
4. interior water supply, including all fixtures and faucets, by running the water;
5. all toilets for proper operation by flushing;
6. all sinks, tubs and showers for functional drainage;
7. the drain, waste and vent system; and
8. drainage sump pumps with accessible floats.

**II. The inspector shall describe:**

1. whether the water supply is public or private based upon observed evidence;
2. the location of the main water supply shut-off valve;
3. the location of the main fuel supply shut-off valve;
4. the location of any observed fuel-storage system; and
5. the capacity of the water heating equipment, if labeled.

**III. The inspector shall report as in need of correction:**

1. deficiencies in the water supply by viewing the functional flow in two fixtures operated simultaneously;
2. deficiencies in the installation of hot and cold water faucets;
3. active plumbing water leaks that were observed during the inspection; and
4. toilets that were damaged, had loose connections to the floor, were leaking, or had tank components that did not operate.

**Electrical****I. The inspector shall inspect:**

1. the service drop;
2. the overhead service conductors and attachment point;
3. the service head, gooseneck and drip loops;
4. the service mast, service conduit and raceway;
5. the electric meter and base;
6. service-entrance conductors;
7. the main service disconnect;
8. panelboards and over-current protection devices (circuit breakers and fuses);
9. service grounding and bonding;
10. a representative number of switches, lighting fixtures and receptacles, including receptacles observed and deemed to be arc-fault circuit interrupter (AFCI)-protected using the AFCI test button, where possible;
11. all ground-fault circuit interrupter receptacles and circuit breakers observed and deemed to be GFCIs using a GFCI tester, where possible; and
12. for the presence of smoke and carbon-monoxide detectors.

**II. The inspector shall describe:**

1. the main service disconnect's amperage rating, if labeled; and
2. the type of wiring observed.

**III. The inspector shall report as in need of correction:**

1. deficiencies in the integrity of the service-entrance conductors insulation, drip loop, and vertical clearances from grade and roofs;
2. any unused circuit-breaker panel opening that was not filled;
3. the presence of solid conductor aluminum branch-circuit wiring, if readily visible;
4. any tested receptacle in which power was not present, polarity was incorrect, the cover was not in place, the GFCI devices were not properly installed or did not operate properly, evidence of arcing or excessive heat, and where

the receptacle was not grounded or was not secured to the wall; and  
5. the absence of smoke and/or carbon monoxide detectors.

## **Bathrooms**

### **The home inspector will inspect:**

interior water supply, including all fixtures and faucets, by running the water;  
all toilets for proper operation by flushing; and  
all sinks, tubs and showers for functional drainage.

## **Doors, Windows & Interior**

### **The inspector shall inspect:**

a representative number of doors and windows by opening and closing them;  
floors, walls and ceilings; stairs, steps, landings, stairways and ramps;  
railings, guards and handrails; and  
garage vehicle doors and the operation of garage vehicle door openers, using normal operating controls.

### **The inspector shall describe:**

a garage vehicle door as manually-operated or installed with a garage door opener.

### **The inspector shall report as in need of correction:**

improper spacing between intermediate balusters, spindles and rails for steps, stairways, guards and railings;  
photo-electric safety sensors that did not operate properly; and  
any window that was obviously fogged or displayed other evidence of broken seals.

## **Laundry**

### **The inspector shall inspect:**

mechanical exhaust systems in the kitchen, bathrooms and laundry area.

## **Fireplace / Stove**

### **I. The inspector shall inspect:**

1. readily accessible and visible portions of the fireplaces and chimneys;
2. lintels above the fireplace openings;
3. damper doors by opening and closing them, if readily accessible and manually operable; and
4. cleanout doors and frames.

### **II. The inspector shall describe:**

1. the type of fireplace.

### **III. The inspector shall report as in need of correction:**

1. evidence of joint separation, damage or deterioration of the hearth, hearth extension or chambers;
2. manually operated dampers that did not open and close;
3. the lack of a smoke detector in the same room as the fireplace;
4. the lack of a carbon-monoxide detector in the same room as the fireplace; and
5. cleanouts not made of metal, pre-cast cement, or other non-combustible material.

## **Kitchen**

The kitchen appliances are not included in the scope of a home inspection according to the Standards of Practice.

### **The inspector will out of courtesy only check:**



the stove,  
oven,  
microwave, and  
garbage disposer.

**Kitchen 2**

The kitchen appliances are not included in the scope of a home inspection according to the Standards of Practice.

**The inspector will out of courtesy only check:**

the stove,  
oven,  
microwave, and  
garbage disposer.